



**CITY OF WEST MIAMI
Planning and Zoning Board**

March 22, 2022

7:30 P.M.

COMMISSION CHAMBER

Meeting Agenda

| | | | | |
|----------|-------------------|-----|----------------------------|-----|
| MEMBERS: | JOE PAZ, CHAIRMAN | ___ | JUAN J. PENA | ___ |
| | NATALIE MILIAN | ___ | PLANNING & ZONING DIRECTOR | |
| | EUGENIO GONZALEZ | ___ | JOSE A. VILLALOBOS | ___ |
| | ALVARO LOURIDO | ___ | CITY ATTORNEY | |
| | DIANA B. RIO | ___ | GILBERTO GONZALEZ (ALT) | ___ |

Old Business:

Approval of Minutes from 01/25/2022 and 2/22/2022

New Business:

Public Hearing Agenda Item 1

Variance 2022-004

Anthony Varona
1401 SW 58 Avenue.
West Miami, Florida 33144

Property Addresses: 1401 SW 58 Avenue,
West Miami, FL. 33144

Applicant request a Variance to build an addition to the existing house for multipurpose room, study and a bathroom within Nine feet and four inches (9'4") of the rear property line where fifteen feet is required by Zoning Ordinance 282 to the rear property line. This property is a normal shape lot and the applicants are requesting a smaller setback than normal, the lot is 7,650 square feet.
(Section 4, Zoning Ordinance 282, Ordinance 99-01)

NOTE: Information relative to this application is available for review by the public at the City of West Miami Planning and Zoning Department, 901 S.W. 62nd Avenue, West Miami, Florida 33144 from 8:30 A.M. to 4:00 P.M., Monday thru Friday, or telephone (305)-266-4214

NOTE: All interested persons are advised that if a person decides to appeal any decision made by the City Commission or Planning and Zoning Board with respect to any matter considered at these hearings, such person will need a record of the proceedings, and that for such purpose, such person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

NOTE: THE COMPLETED APPLICATION WITH PLANS AND THE FEE REQUIRED MUST BE IN THE OFFICE NO LATER THAN 25 WORKING DAYS PRIOR TO THE SCHEDULED MEETING. UNLESS OTHERWISE NOTIFIED, THE PLANNING AND ZONING BOARD MEETS THE FOURTH TUESDAY OF EACH MONTH AT 7:30 P.M.



CITY OF WEST MIAMI
901 SW 62 AVE
WEST MIAMI, FLORIDA 33144

APPLICATION FOR EXCEPTION OR VARIANCES
OF ZONING ORDINANCE 282

DATE 2/28/22 TELEPHONE 305-215-3142

NAME OF APPLICANT Anthony Varona

ADDRESS 1401 SW 58th Ave

Legal Description of Property Covered by Application _____

Lot 1, Block 32-B of Sylvania Heights Subdivision

Size of Area Covered by Application 400 sq ft

Street Boundaries SW 14th St to SW 58th Ave

Ownership of Property Obtained Anthony Varona

When Was Leased Signed _____ 20____ Terms from _____

When property is not owned by the applicant a letter must be attached giving the consent of the owner to the applicant to request a change of Zoning or Variance on the property

Zone Classification at Present 15' set back for south side of property

Zone Classification Desired 9'-4" set back for south side of property

How Many Square Feet Does Proposed Building Contain 1,850 sq ft

How Many Feet are Outer Walls from Side Lines of Property South → 9'-4"

What, if any, Permits have been applied for In 2021 got variance approval
For pool house and pool.

Special Uses Desired, which are not Permitted by Present Zoning Classification N/A.

Special Property Hardship or Reasons believed justifying a Variance The south side of my property is considered the rear of my property with a 15' set back but in actuality is the side of my property because my house was built facing west.

The following enclosures are needed to complete the Application

Plot Plan or site plan of Proposed Layout (7 copies) Building Plans of Structures to be erected (7 Copies) Check or Cash in the Amount of \$75.00 to cover the cost of Processing the Application.

I Anthony Varona being duly Sworn, Depose and say
That: I am Owner of the Property

I Lease the Property

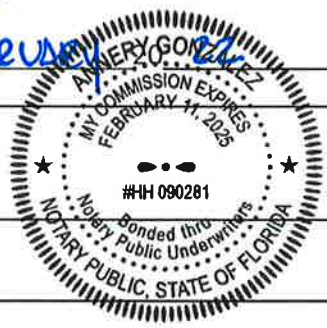
I am the Legal Representative of the Owner or Lease the Property described which is the Subject Matter of this Application; that all answers to the questions in said Application, and all Sketches, Dates and Matters attached to and made a part of said Application are honest and true to the best of my knowledge and belief.

[Signature]
Signature of Applicant or Owner

SWORN AND SUBSCRIBED before me this 22ND day of FEBRUARY

ANNERY GONZALEZ
NOTARY PUBLIC

My Commission Expires: _____



Variance Approved **Denied**

West Miami Planning and Zoning Board

Chairman _____

Date _____



CITY OF WEST MIAMI

NOTICE OF PUBLIC HEARING

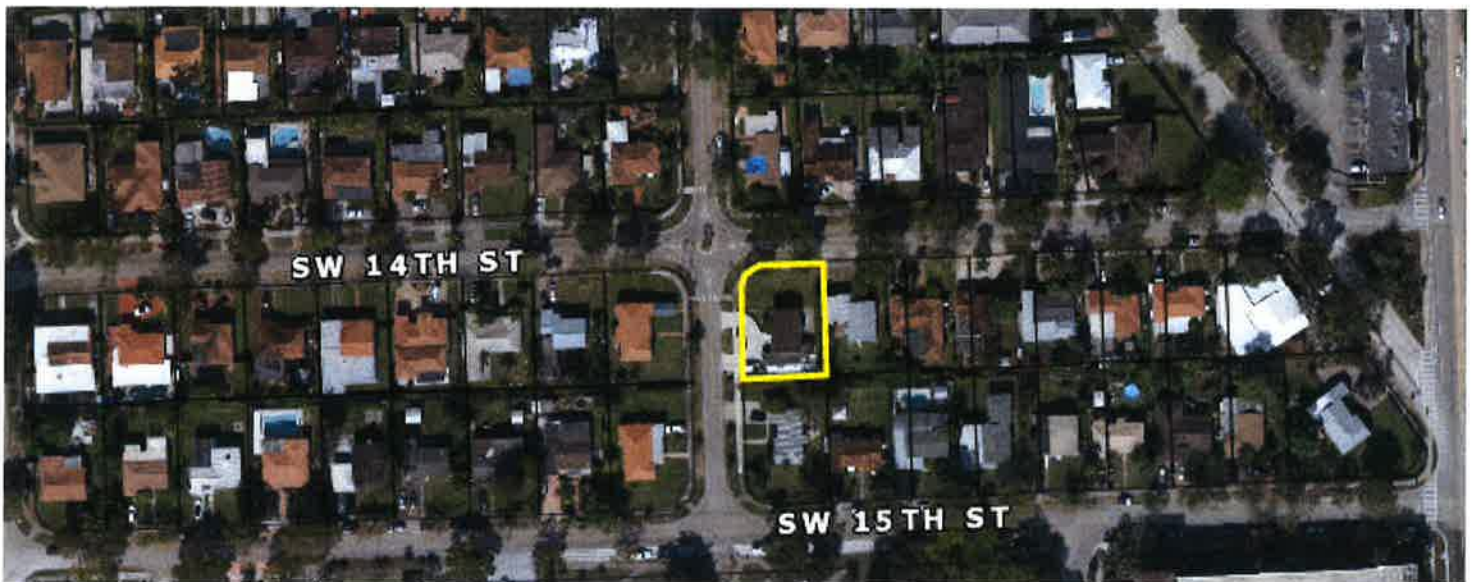
The Planning and Zoning Board of the City of West Miami will hold a Variance Hearing on Tuesday, March 22nd, 2022, at 7:30 P.M. in the Commission Chambers. All determination by the Planning and Zoning Board will be a final decision with a right to appeal to the City Commission. To express the views of interested persons on the agenda listed below please join us in the Commission Chamber.

Variance Hearing Agenda Item 1

Property Address: 1401 SW 58 Avenue
West Miami, FL 33144

ANTHONY VARONA

Applicant request a Variance to build an addition to the existing house for multipurpose room, study and a bathroom within Nine feet and four inches (9'4") of the rear property line where fifteen feet is required by Zoning Ordinance 282 to the rear property line. This property is a normal shape lot and the applicants are requesting a smaller setback than normal, the lot is 7,650 square feet.
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CONSULTANTS:

STRUCTURAL:

FAUSTO GUERRERO
17082 SW 92 Ave
Miami, FL 33183
Ph: (305) 971-0240
Fla. Reg. No. PE 50465

MEP:

MDS Engineering Corporation
7850 SW 132nd Ave
Miami, FL 33183
Ph: (786) 436-7062-1783
Mario Duany, PE
Fla. Reg. No. 67340

LANDSCAPE ARCHITECTURE:

PROJECT:

**Varona Residence
Renovation &
Addition**

1401 SW 58th Ave
West Miami, FL 33144

| DATE | SUBMITTAL |
|----------|-----------------|
| 02.28.22 | Permit Drawings |

| REV. NO. | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |

**SHEET TITLE:
Proposed Floor Plan &
Schedules**

| | |
|-------------------|----------------------------|
| DRAWN BY: E.V. | PROJECT NUMBER: V4C1703 |
| DELIVERY DATE: | CAD FILE NAME: A201 |

DRAWING LOCATION:

SHEET NO. **A201**

Door Schedule

| DOOR TYPE | DOOR | | | | FRAME | | | NOA | U | SC | COMMENTS | |
|-----------|-------|--------|---------|--------------|--------|----------|--------|-------|------------|----|----------|---|
| | WIDTH | HEIGHT | THICKNS | MATERIAL | FINISH | MATERIAL | FINISH | | | | | THRLD |
| 1 | 36" | 96" | 1-3/4" | WOOD - SOLID | PAINT | WOOD | PAINT | ALUM. | 19-0808.06 | 1 | 0.5 | ROATAN MAHOGANY USA, INC. SWIETENIA SERIES WOOD |
| 2 | 32" | 96" | 1 3/8" | WOOD - HC | PAINT | WOOD | PAINT | - | N/A | - | - | - |
| 3 | 32" | 96" | 1 3/8" | WOOD - HC | PAINT | WOOD | PAINT | - | N/A | - | - | - |
| 4 | 36" | 96" | 1 3/4" | ALUM/GLASS | ESP | ALUM | ESP | ALUM. | 21-0113.10 | 1 | 0.5 | ES WINDOWS LLC SERIES 3000 OUTSWING |
| 5 | 192" | 96" | BY MFR | ALUM/GLASS | ESP | ALUM | ESP | ALUM. | 20-1118.11 | 1 | 0.5 | ES WINDOWS LLC SERIES ES-6500 ULTRA SLIDING DOORS |
| 6 | 60" | 96" | 1 3/8" | WOOD BIFOLD | PAINT | WOOD | PAINT | - | N/A | - | - | FULL LOUVER DOOR |
| 7 | 30" | 96" | 1 3/8" | WOOD BIFOLD | PAINT | WOOD | PAINT | - | N/A | - | - | FULL LOUVER DOOR |
| 8 | 2-36" | 96" | 1 3/8" | WOOD - HC | PAINT | WOOD | PAINT | - | N/A | - | - | CLOSET ROLLING DOORS |

FINISH HARDWARE BY OWNER

Window Schedule

| WINDOW TYPE | FRAME | | | | GLASS | | | | NOA | COMMENTS | |
|-------------|-------|--------|----------|--------|-------|-----------|-------|---------|-----|------------|----------------------|
| | WIDTH | HEIGHT | MATERIAL | FINISH | COLOR | TYPE | COLOR | U VALUE | | | SHADE COEF. |
| A | 72" | 48" | ALUM | ESP | WHITE | LAMINATED | CLEAR | 1 | 0.5 | 20-0915.02 | |
| B | 108" | 24" | ALUM | ESP | WHITE | LAMINATED | CLEAR | 1 | 0.5 | 20-0915.02 | 3 EQUAL SIZE WINDOWS |
| C | 72" | 24" | ALUM | ESP | WHITE | LAMINATED | CLEAR | 1 | 0.5 | 20-0915.02 | 2 EQUAL SIZE WINDOWS |
| D | 36" | 48" | ALUM | ESP | WHITE | LAMINATED | CLEAR | 1 | 0.5 | 20-0915.02 | |
| E | 30" | 30" | ALUM | ESP | WHITE | LAMINATED | CLEAR | 1 | 0.5 | 20-0915.02 | |

ALL CASEMENT WINDOWS SHALL BE EQUAL TO E.S. WINDOWS, LLC SERIES 5000

Finish Schedule

| ROOM NAME | FLOOR | BASE | | | | WALL | | | | CEILING | COMMENTS |
|----------------|-------|------|----|----|----|------------|------------|------------|------------|------------|---|
| | | N | W | S | E | N | W | S | E | | |
| GREAT ROOM | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| KITCHEN | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| CORRIDOR | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| BATH 1 | PT | PT | PT | PT | PT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | SHOWER WALLS TO HAVE CEMENT BOARD & PT FULL HT. |
| LAUNDRY | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| A/C | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| BATH 2 | PT | PT | PT | PT | PT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | SHOWER WALLS TO HAVE CEMENT BOARD & PT FULL HT. |
| BEDROOM 1 | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| BEDROOM 2 | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| VESTIBULE | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| MASTER BEDROOM | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| MASTER CLOSET | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| MASTER BATH | PT | PT | PT | PT | PT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | SHOWER WALLS TO HAVE CEMENT BOARD & PT FULL HT. |
| POOL HOUSE | PT | CT | CT | CT | CT | GWB | GWB | GWB | GWB | MR GWB/PNT | |
| STORAGE | PT | WD | WD | WD | WD | GWB | GWB | GWB | GWB | GWB | |
| BATH 3 | PT | PT | PT | PT | PT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | MR GWB/PNT | SHOWER WALLS TO HAVE CEMENT BOARD & PT FULL HT. |

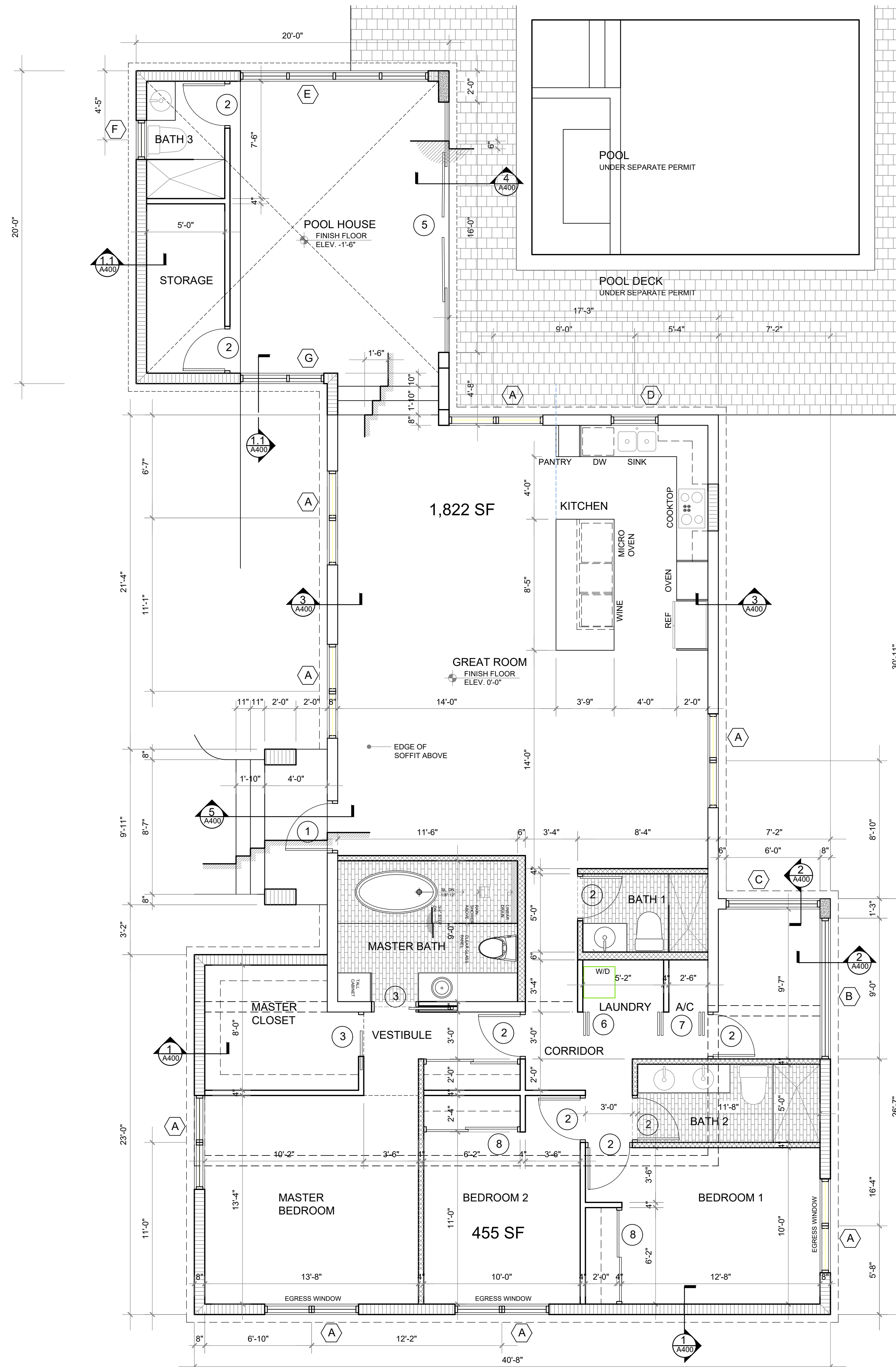
PORCELAIN TILE PT
HARDWOOD FLOOR HF
WOOD BASE WD
PORCELAIN TILE PT
GWB PAINTED GWB

Notes:

- BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH NONABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6'-0" ABOVE THE FLOOR PER FBC R307.2.
- BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS AND/OR FIBER-REINFORCED GYPSUM BACKERS UNITS PER STANDARDS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PER FBC R702.4.2.
- GLAZING IN WET SURFACES WITHIN 60° HORIZONTALLY WITH VERTICAL EDGE LESS THAN 60° A.F.F. SHALL BE CATEGORY II SAFETY GLAZING PER FBC R308.4.5 & TABLE R308.3.1(1).
- FLAME SPREAD RATING FOR WALL AND CEILING SURFACES SHALL BE A MAXIMUM OF 200, SMOKE DEVELOPMENT RATING RATING FOR WALL AND CEILING SURFACES SHALL BE A MAXIMUM OF 450, PER FBC 302.9
- FLAME SPREAD RATING FOR INSULATION SHALL BE A MAXIMUM OF 25, SMOKE DEVELOPMENT RATING RATING FOR INSULATION SHALL BE A MAXIMUM OF 450, PER FBC 302.10.

Legend:

- EXISTING WALL TO REMAIN
- NEW MASONRY WALL
- NEW STUD PARTITION
- NEW STUD PARTITION WITH ACOUSTICAL INSULATION



Floor Plan
Scale: 1/4"=1'-0" NORTH

