

EXISTING SITE/ROOF PLAN  
Scale: 1/8" = 1'-0"

**SITE PLAN KEYED NOTES**

- | No. | DESCRIPTION                             |
|-----|---|
| 1   | EXISTING PLOT ROOF                      |
| 2   | EXISTING DRIVEWAY TO BE REMOVED         |
| 3   | EXISTING SIDEWALK TO BE REMOVED         |
| 4   | EXISTING PORCH TO BE REMOVED            |
| 5   | EXISTING CONC. TO REMAIN                |
| 6   | EXISTING UTILITY UNIT TO BE REMOVED     |
| 7   | EXISTING CONCRETE AREA TO REMAIN        |
| 8   | EXISTING CHAINLINK FENCE GATE TO REMAIN |
| 9   | EXISTING GREEN AREA TO REMAIN           |
| 10  | EXISTING SHRUBS TO REMAIN               |
| 11  | EXISTING AC TO REMAIN                   |

MUNICIPALITY: MIAMI DADE COUNTY

1. ZONING:	REQUIRED	PROPOSED
2. SITE AREA: 6,681 SF 0.153 ACRE	R1	R1
3. a) BUILDING SETBACKS: FRONT: REAR TO BASELINE: WEST SIDE: EAST SIDE:	0	0
b) ACCESSORY USE SETBACKS: FRONT: REAR TO BASELINE: WEST SIDE: EAST SIDE:	25	25
	10	10
	10	10
	10	10

TOTAL GREEN SPACE:	- SF	- SF
BUILDING HEIGHT:	1 STORY	1 STORY
BUILDING AREA: GROSS • AC AREA	1,883 SF	3,216 SF

**LEGAL DESCRIPTION:**

LOT 1, BLOCK 8, SUBDIVISION 187216, ACCORDING TO THE PLAN THEREOF AS RECORDED IN PLAT BOOK 96, PAGE 4, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY.

**FLOOD ELEVATION NOTES**

1. SEE SHEET 101 FOR FLOOD ELEVATION DATA

2. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED

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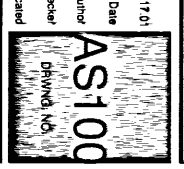
99. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED

100. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED

Project Number: 191178  
 Date: 1/11/25  
 Drawn By: [Signature]  
 Checked By: [Signature]  
 Scale: As Noted

15/2025 15:29:55

**EXISTING/DEMOLITION  
SITE PLAN/ROOF PLAN**



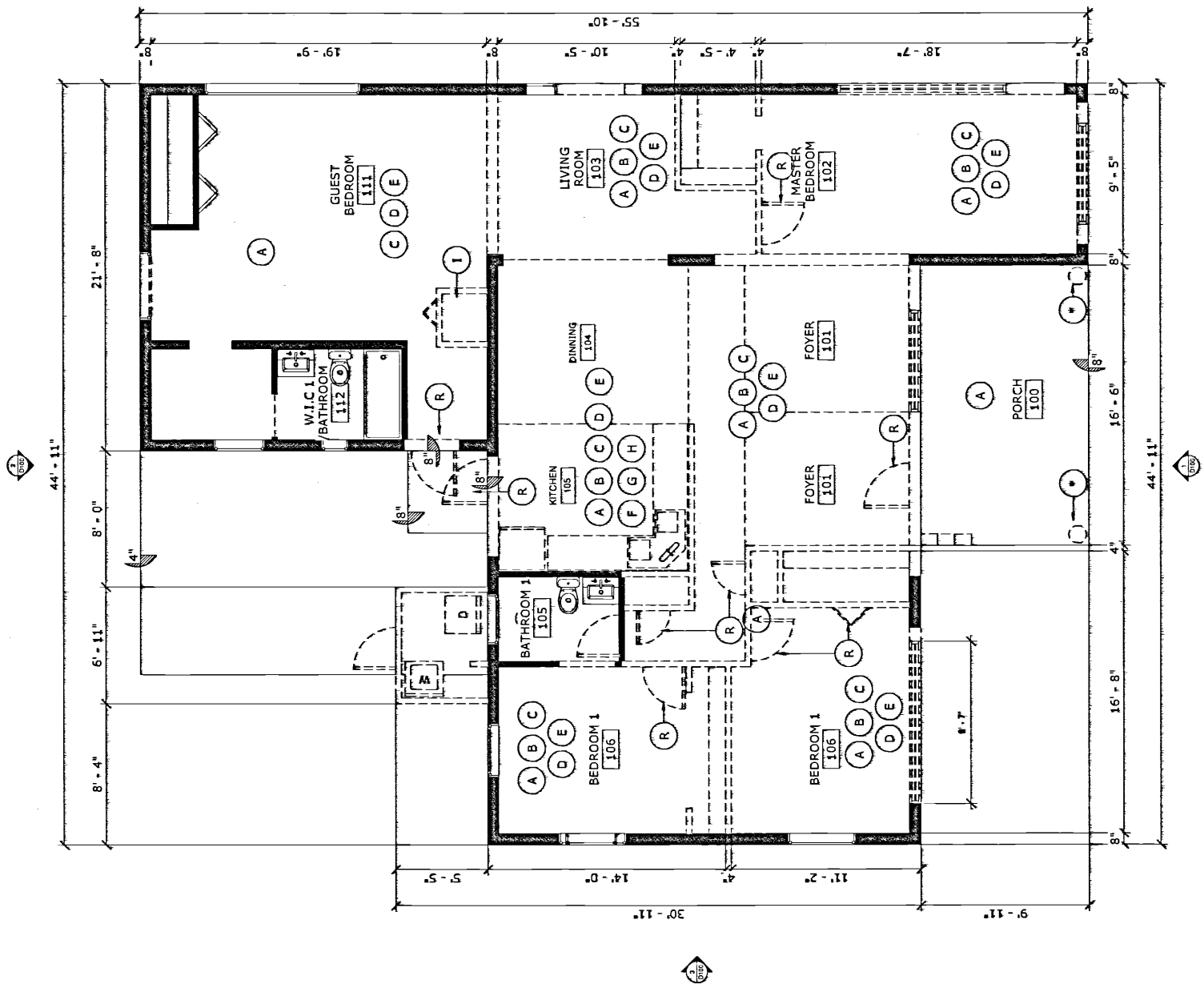
FLOOR PLAN KEYED NOTES	
NO.	DESCRIPTION
(A)	REMOVED EXISTING FLOOR TILE
(B)	REMOVED BASEBOARD
(C)	REMOVED CEILING
(D)	REMOVED EXISTING CEILING LIGHTS
(E)	REMOVED ELECTRICAL OUTLETS
(F)	REMOVED KITCHEN CABINETS
(G)	REMOVED KITCHEN COUNTERTOP
(H)	REMOVED KITCHEN APPLIANCE
(I)	REMOVED AC UNIT

PROPOSED LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
(X)	KEY NOTE

GENERAL NOTES	
(D)	DECORATIVE COLUMNS TO BE REMOVED
(R)	REMOVE EXISTING DOOR



**EXISTING / DEMOLITION FLOOR PLAN**

Project Number	18117.01
Date	
Drawn By	
Checked By	
Scale	As Indicated

Issue Date	Author	Checker	As Indicated
<b>D000</b>			
DRAWING NO.			

1/5/2020 12:50:58

**CODE REFERENCES**

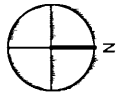
FLORIDA BUILDING CODE 2017 EDITION (BUILDING, ENERGY, PLUMBING & MECHANICAL)

REFER TO STRUCTURAL DWG'S AND M.E.P. DWG'S FOR ADDITIONAL CODE REFERENCES.

**AREA OF WORK DATA**

OCCUPANCY CLASSIFICATION: RESIDENTIAL - SINGLE FAMILY HOME - NEW CONSTRUCTION (IBC SECTION 310.1)

CONSTRUCTION TYPE: III B FIRE RESISTANCE



SCALE: 1/4" = 1'-0"

**EXISTING / DEMOLITION FLOOR PLAN**

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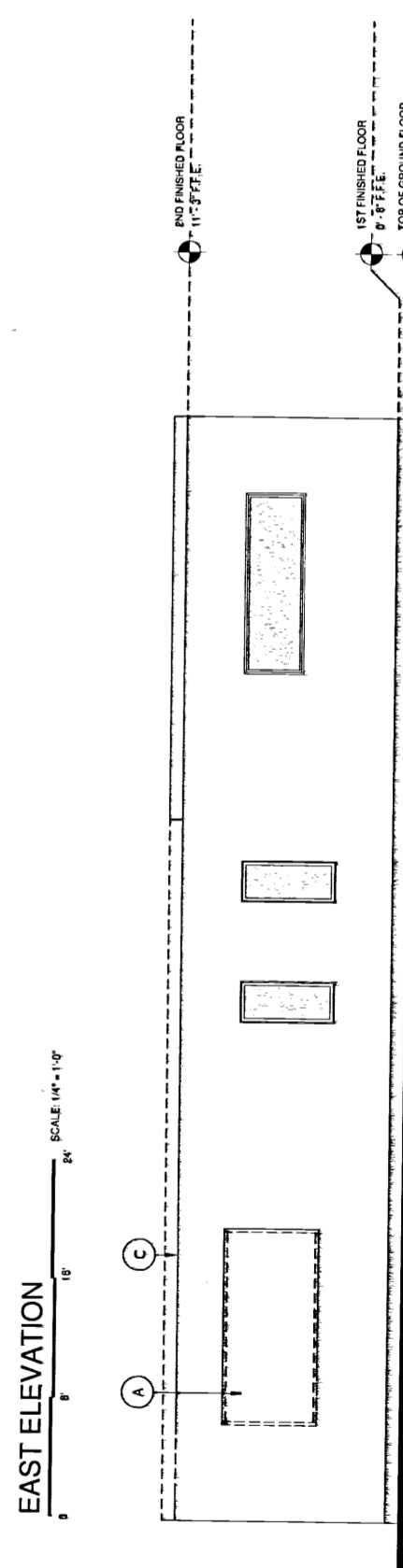
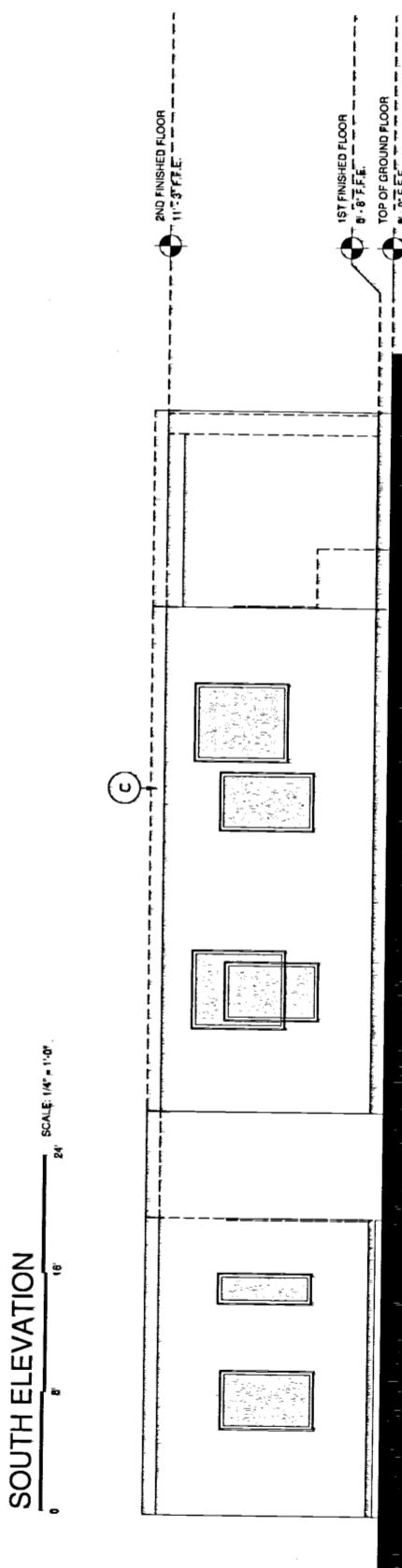
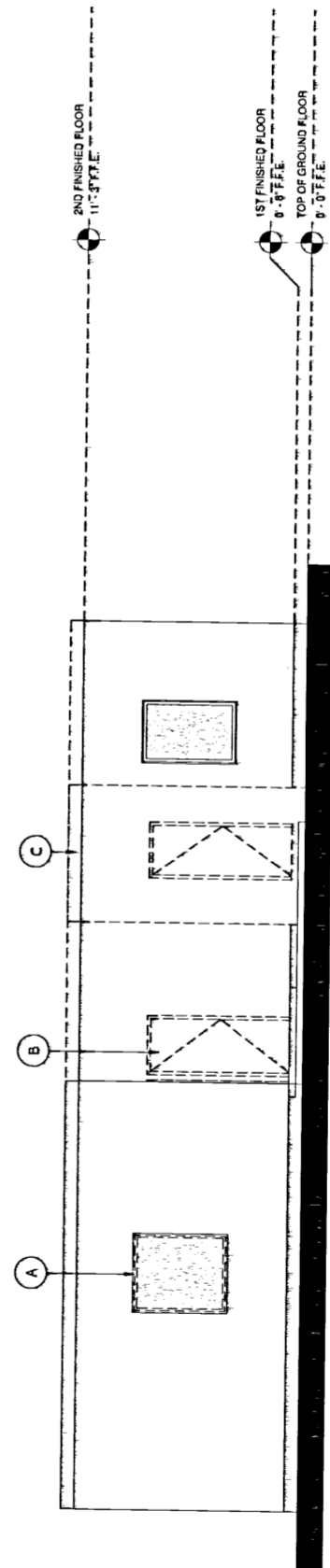
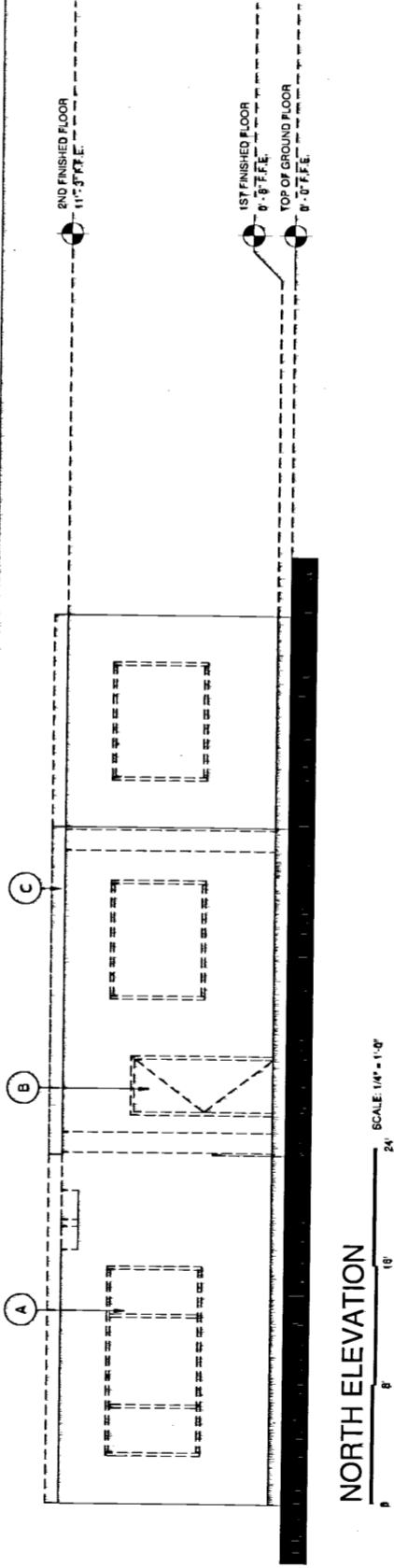
ELEVATION KEYED NOTES	
DESCRIPTION	
REMOVED EXISTING WINDOWS	(A)
REMOVED EXTERIOR DOOR	(B)
REMOVED EXISTING FLAT ROOF	(C)

SYMBOLS	
DOOR NO.	(A)
WINDOW TYPE	(B)
KEY NOTE	(C)

GENERAL NOTES	
DECORATIVE COLUMNS TO BE REMOVED	(A)
REMOVE EXISTING DOOR	(B)



**EXISTING / DEMOLITION  
ELEVATION**

Project Number	191172
Date	
Drawn By	Auto
Checked By	Chris
Scale	As Indicated

**D100**  
DRAWING NO.

1620281316191

FLOOR PLAN KEYED NOTES	
NO.	DESCRIPTION
1	NEW IMPACT GLASS DOOR ACCORDING TO FBC -710
2	NEW IMPACT GLASS DOOR - REFER TO DOOR SCHEDULE
3	NEW KITCHEN CABINETS, SINK AND COUNTERTOP
4	NEW PLUMBING FIXTURES - KITCHEN REFER TO PLUMBING DRAWINGS
5	NEW CERAMIC TILE
6	NEW WOOD DOORS - REFER TO DOOR SCHEDULE
7	EXISTING CONCRETE SLAB

PROPOSED LEGEND	
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	KEY NOTE
	ROOM NAME AND NUMBER
	WINDOW TAG
	DOOR TAG

WALL TYPES LEGEND	
	EXISTING 8 CMU WALL
	NEW 6 CMU WALL
	NEW TYP NON RATED PARTITION
	NON RATED PARTITION WET AREAS

GENERAL NOTES	
1.	PROVIDE CEILING JOIST BOARDS AT WALLS RECEIVING TILES AT ALL SHOWING LOCATIONS. PROVIDE IMPACT RESISTANT BARRIERS AT ALL BATHROOM WALLS (EXCEPT WET AREAS IN SHOWERS OR BATHTUBS) REFER TO WALL TYPE DETAILS OF SHEET A400.
2.	BATHROOM FLOORS TO BE OF IMPERVIOUS MATERIAL.
3.	SHOWER AND TUB WALLS SHALL BE TILED TO 7'-0" A.F.F.
4.	ALL GLASS USED INSIDE DWELLING SHALL BE TEMPERED.
5.	ALL EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT AND HAVE MIAMI-DADE PRODUCT CONTROL APPROVAL.
6.	G.C. PROVIDE SHOP DRAWINGS WITH MANUFACTURER'S INFORMATION FOR THE FOLLOWING: A. ALL PLUMBING AND ELECTRICAL FIXTURES. B. DETAILED HARDWARE PACKAGE INCLUDING LOCK SETS, PRIVACY AND PASSAGE SETS, DEADBOLTS, DOORSTOPS, HINGES, PEPPHOLS AND KNOCKER. C. PRODUCT APPROVAL FOR DOORS/DOOR ASSEMBLIES SUBJECT TO WIND LOADS AND WATER INFILTRATION. D. KITCHEN COUNTERTOPS AND OVERHEAD CABINETS.
7.	FBC 10 RB11.2: AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES (AS SHOWN), THE MINIMUM CLEAR HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
8.	R310.1.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.

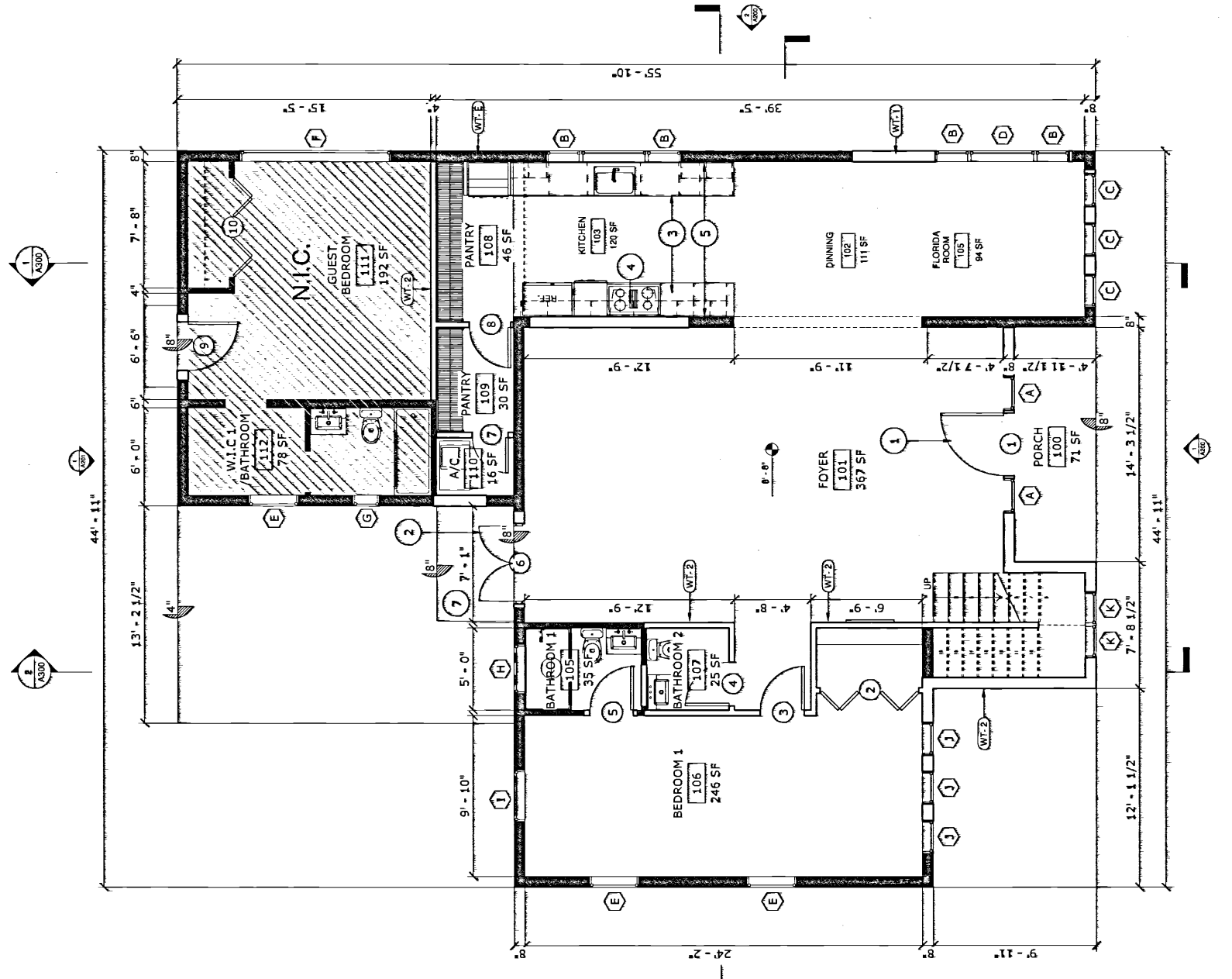
FINISH SCHEDULE NOTES	
1.	CERAMIC TILE FOR LIVING ROOM, DINING ROOM, KITCHEN AND FAMILY ROOM, THRU-OUT.
2.	WOOD BASEBOARD
3.	1"x2" WOOD BASEBOARD
4.	OUTDOOR TILE FOR TERRACE.

CODE REFERENCES	
- FLORIDA BUILDING CODE 2017 EDITION (BUILDING, ENERGY, PLUMBING & MECHANICAL)	
- REFER TO STRUCTURAL, DWG'S AND M.E.P. DWG'S FOR ADDITIONAL CODE REFERENCES.	

AREA OF WORK DATA	
OCCUPANCY CLASSIFICATION: RESIDENTIAL - SINGLE FAMILY HOME - NEW CONSTRUCTION (FBC SECTION 310.1)	
CONSTRUCTION TYPE: III B FIRE RESISTANCE	



**PROPOSED FIRST FLOOR PLAN**

Project Number	18117.01
Date	
Drawn By	Author
Checked By	Checker
Scale	As Indicated

<b>A100</b>	
DRAWING NO.	

1/5/2020 12:50:37

**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 24'

FLOOR PLAN KEYED NOTES

- | NO. | DESCRIPTION   |
|-----|---|
| 1   | NEW IMPACT GLASS WINDOW ACCORDING TO FBC. REFER TO WINDOWS SCHEDULE |
| 2   | NEW CONCRETE STAIRS - REFER TO STRUCTURAL DRAWINGS FOR MORE INFO.   |
| 3   | NEW PLUMBING FIXTURES - REFER MEP DRAWINGS                          |
| 4   | NEW GLASS HANDRAILS   |
| 5   | NEW FREE STANDING BATH  |
| 6   | NEW WALKING CLOSETS   |
| 7   | CERAMIC TILE THROUGH  |

PROPOSED LEGEND

NEW CONSTRUCTION	ROOM NAME AND NUMBER
	101
	EXISTING CONSTRUCTION TO REMAIN
	WINDOW TAG
	DOOR TAG

WALL TYPES LEGEND

- (WT-E) EXISTING 8 CMU WALL
- (WT-1) NEW 8" CMU WALL
- (WT-2) NEW TYP NON RATED PARTITION
- (WT-3) NON RATED PARTITION W/WEAEG

GENERAL NOTES

- PROVIDE CEMENTITIOUS BACKER BOARD AT WALLS RECEIVING TILES AT ALL INTERIOR WALLS AND EXTERIOR WALLS (EXCEPT WET AREAS IN SHOWERS OR BATH TUBS). REFER TO WALL TYPE DETAILS ON SHEET A400.
- BATHROOM FLOORS TO BE OF IMPERVIOUS MATERIAL.
- SHOWER AND TUB WALLS SHALL BE TILED TO 7'-0" A.F.F.
- ALL GLASS USED INSIDE DWELLING SHALL BE TEMPERED.
- ALL EXTERIOR DOORS AND WINDOWS TO BE IMPACT RESISTANT AND HAVE MIAMI-DADE PRODUCT CONTROL APPROVAL.
- G.O. PROVIDE SHOP DRAWINGS WITH MANUFACTURER'S INFORMATION FOR THE FOLLOWING:
  - A. ALL PLUMBING AND ELECTRICAL FIXTURES.
  - B. DETAILED HARDWARE PACKAGE INCLUDING LOCK SETS, PRIVACY AND PASSAGE SETS, DEADBOLTS, DOORSTOPS, HINGES, PEEPHOLES AND KNOCKER.
  - C. PRODUCT APPROVAL FOR DOORS/ DOOR ASSEMBLIES SUBJECT TO WIND LOADS AND WATER PENETRATION.
  - D. KITCHEN COUNTERS AND OVERHEAD CABINETS.
- R310 R311 & AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE MINIMUM CLEAR HEIGHT SHALL BE 78 INCHES (1.98 M). THE MEASUREMENTS SHALL BE TAKEN FROM THE MEASUREMENT FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER EGRESS DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- R311.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.

FINISH SCHEDULE NOTES

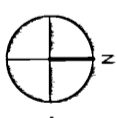
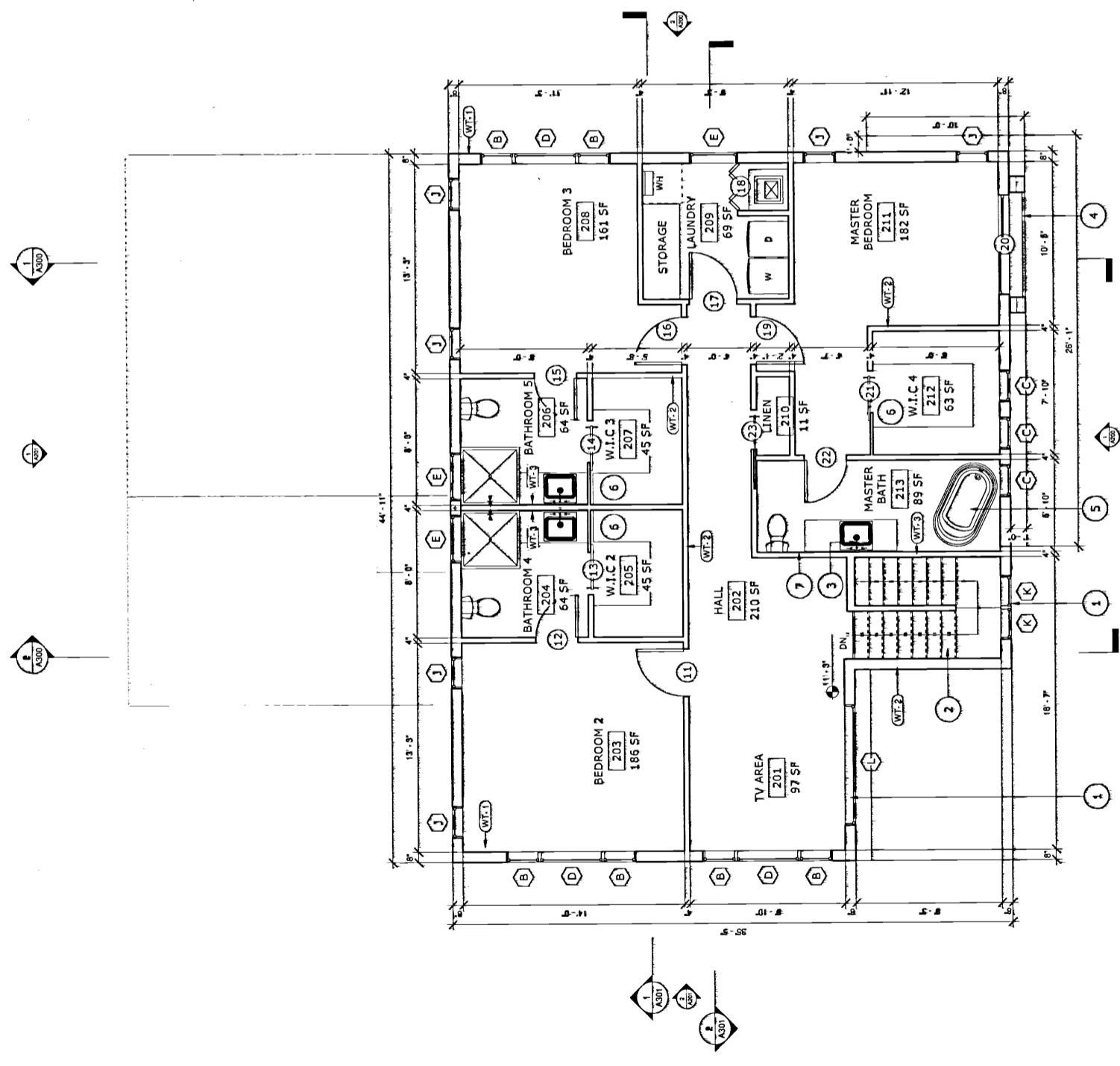
- WOOD FLOOR FOR LIVING ROOM, DINING ROOM, KITCHEN AND FAMILY ROOM. CERAMIC TILE THROUGH FOR OTHERS.
- 1 1/2" WOOD BASEBOARD.
- 1 1/2" WOOD BASEBOARD.
- OUTDOOR TILE FOR TERRACE AND POOL DECK.

CODE REFERENCES

FLORIDA BUILDING CODE 2017 EDITION (BUILDING, ENERGY, PLUMBING & MECHANICAL)  
 REFER TO STRUCTURAL DWG'S AND M.E.P. DWG'S FOR ADDITIONAL CODE REFERENCES.

AREA OF WORK DATA

OCCUPANCY CLASSIFICATION: RESIDENTIAL - SINGLE FAMILY HOME - NEW CONSTRUCTION (FBC SECTION 310.1)  
 CONSTRUCTION TYPE: III B FIRE RESISTANCE



PROPOSED SECOND FLOOR PLAN SCALE: 1/4" = 1'-0" 24'

PROPOSED SECOND FLOOR PLAN

Project Number	18117.01
Date	18117.01
Drawn By	Author
Checked By	Checker
Scale	As Indicated

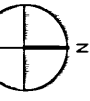
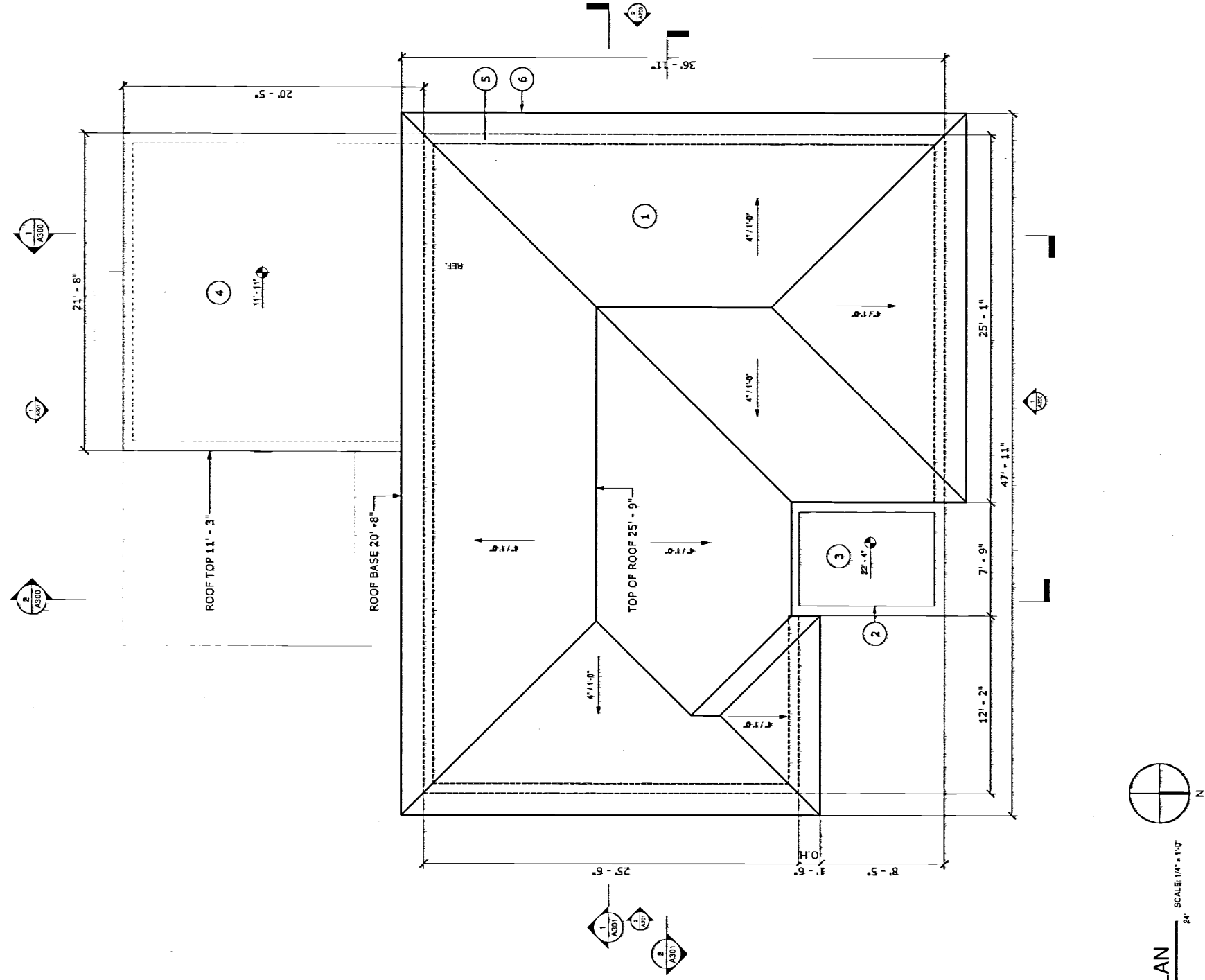
**A101**  
DRAWING NO.

15/02/2019 12:50:39

FLOOR PLAN KEYED NOTES	
NO.	DESCRIPTION
1	NEW METAL ROOF - LIGHT GRAY
2	2" HIGH PARAPET
3	FLAT ROOF
4	METAL ROOF
5	EDGE OF WALL BELOW
6	18" OVERHANG

**GENERAL NOTE**  
 1. ALL WP ROOF AND LEAN TO ROOF SLOPE IS 2:12  
 2. ALL SLOPE ROOF HAS DRAIN EDGE FINISH

**ROOFING SYSTEM**  
 1. THE ROOF FINISH IS AN UNFINISHED GYP BOARD SYSTEM WITH ROOFING TRUSS & JOIST SYSTEM  
 2. THE ROOF STRUCTURE IN MASTER BEDROOM AND LIVING AREA IS SCISSOR TRUSS IN  
 3. THE ROOF STRUCTURE IN HALLWAY AND BATH IS TRUSS WITH SCISSOR TRUSS IN  
 4. THE ROOF STRUCTURE IN KITCHEN AND BREAKFAST ROOM IS TRUSS WITH SCISSOR TRUSS IN  
 5. THE ROOF STRUCTURE IN PORCH IS TRUSS WITH SCISSOR TRUSS IN  
 6. WATERPROOFING REFER TO STRUCTURAL DRAWINGS FOR DETAILS



**PROPOSED ROOF PLAN**  
 SCALE: 1/8" = 1'-0"  
 0 5 10 15 20

Owner  
**THE STARS GROUP - NEW JERSEY OFFICE**

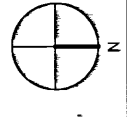
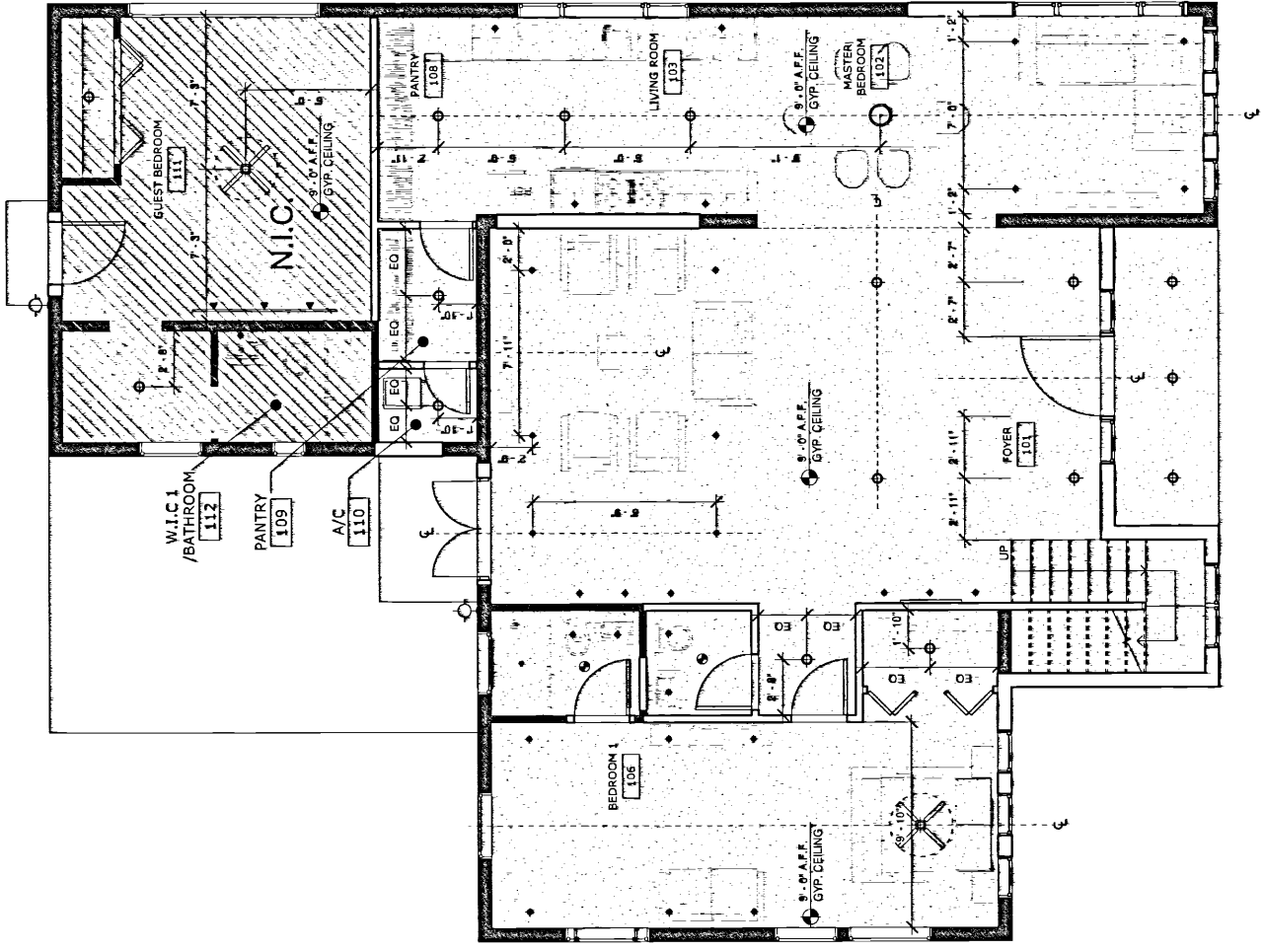
**PROPOSED ROOF PLAN**

Project Number	181772
Date	11/17/21
Drawn By	Author
Checked By	Checker
Scale	As indicated

**A102**  
 drawing no.

152220 12341

LEGEND	
DESCRIPTION	
3" HIGH FROM CEILING	
CHANDELIER	
WALL LIGHT	
FAN AND LIGHT	
DRYWALL CEILING	



FIRST FLOOR REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"  
 8' 10' 24'

FIRST FLOOR REFLECTED  
 CEILING PLAN

Project Number	19117.01
Date	
Drawn By	
Checked By	
Scale	As Indicated

**A103**  
 DRAWING NO.

1/5/2020 12:50:42

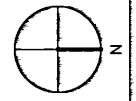
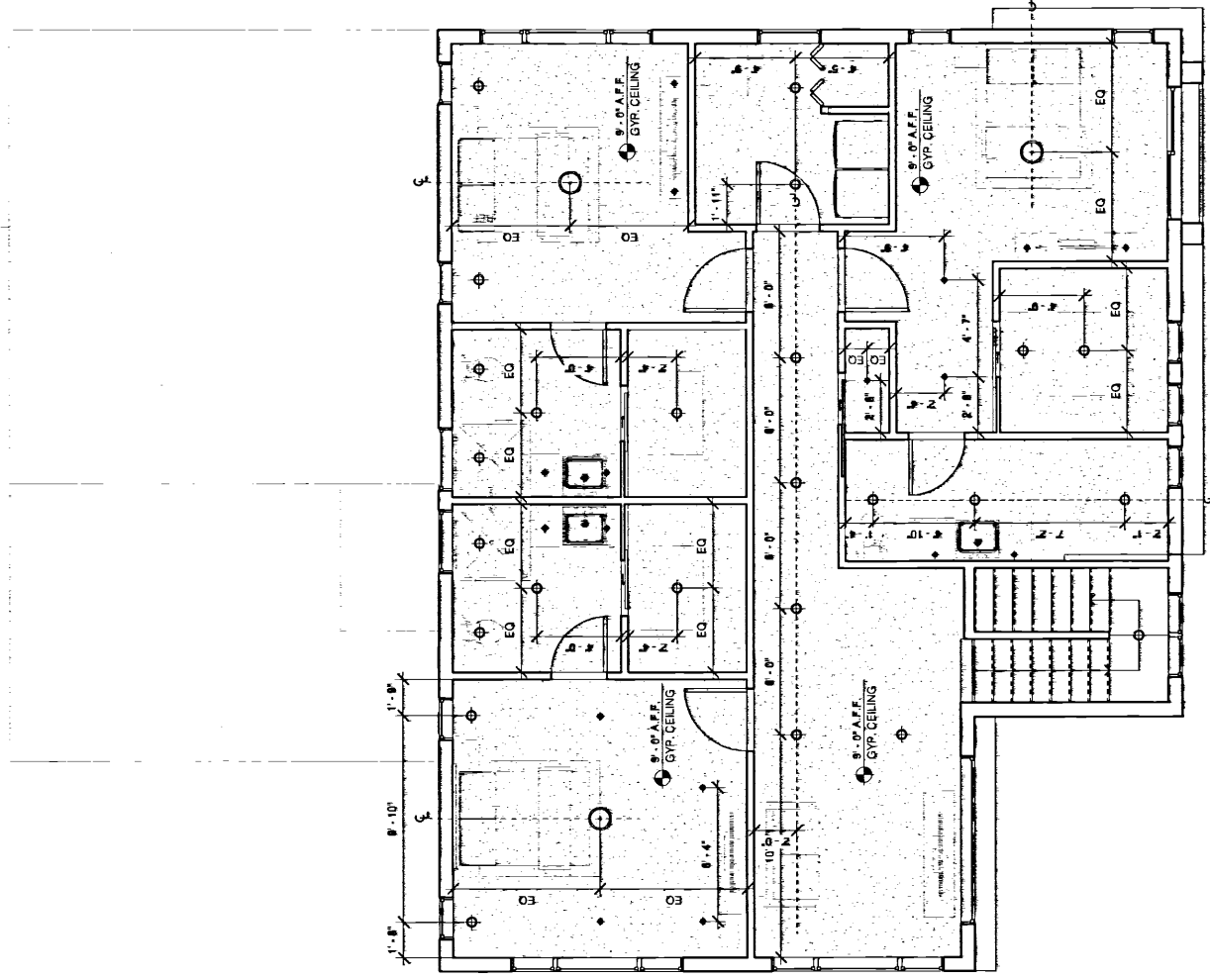


Owner  
**THE STARS GROUP - NEW  
 JERSEY OFFICE**

**SECOND FLOOR  
 REFLECTED CEILING PLAN**

Project Number	1811701
Date	Issue Date
Drawn By	Author
Checked By	Checker
Scale	As Indicated
<b>A104</b>	
Drawing No.	
1/5/2020 10:28:42	

LEGEND	
DESCRIPTION	
3" HIGH FROM CEILING	◆
CHANDELER	○
WALL LIGHT	⊙
FAN AND LIGHT	⊗
DRYWALL CEILING	▨



**SECOND FLOOR REFLECTED CEILING PLAN** SCALE: 1/4" = 1'-0"

ELEVATION KEYED NOTES	
DESCRIPTION	
1 GALVANIZED STANDING SCREEN ROOF	
2 SMOOTH STUCCO FINISH	
3 42" HIGH ALUMINUM GUARD RAIL W/36" HIGH TEMPERGLASS HANDRAIL	
4 STUCCO WITH STONE FINISH	

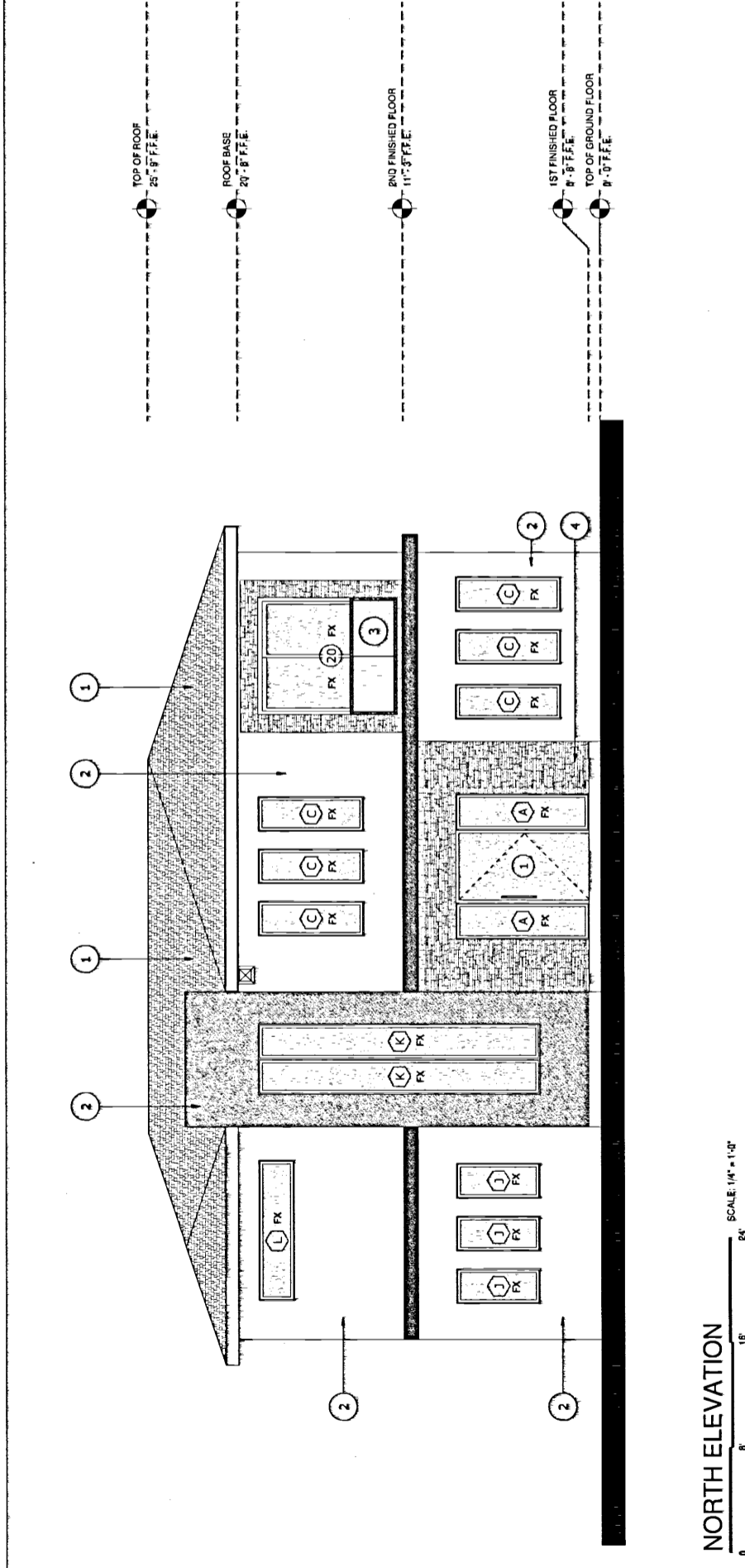
SYMBOLS	
1 DOOR NO.	
2 WINDOW TYPE	
3 KEY NOTE	

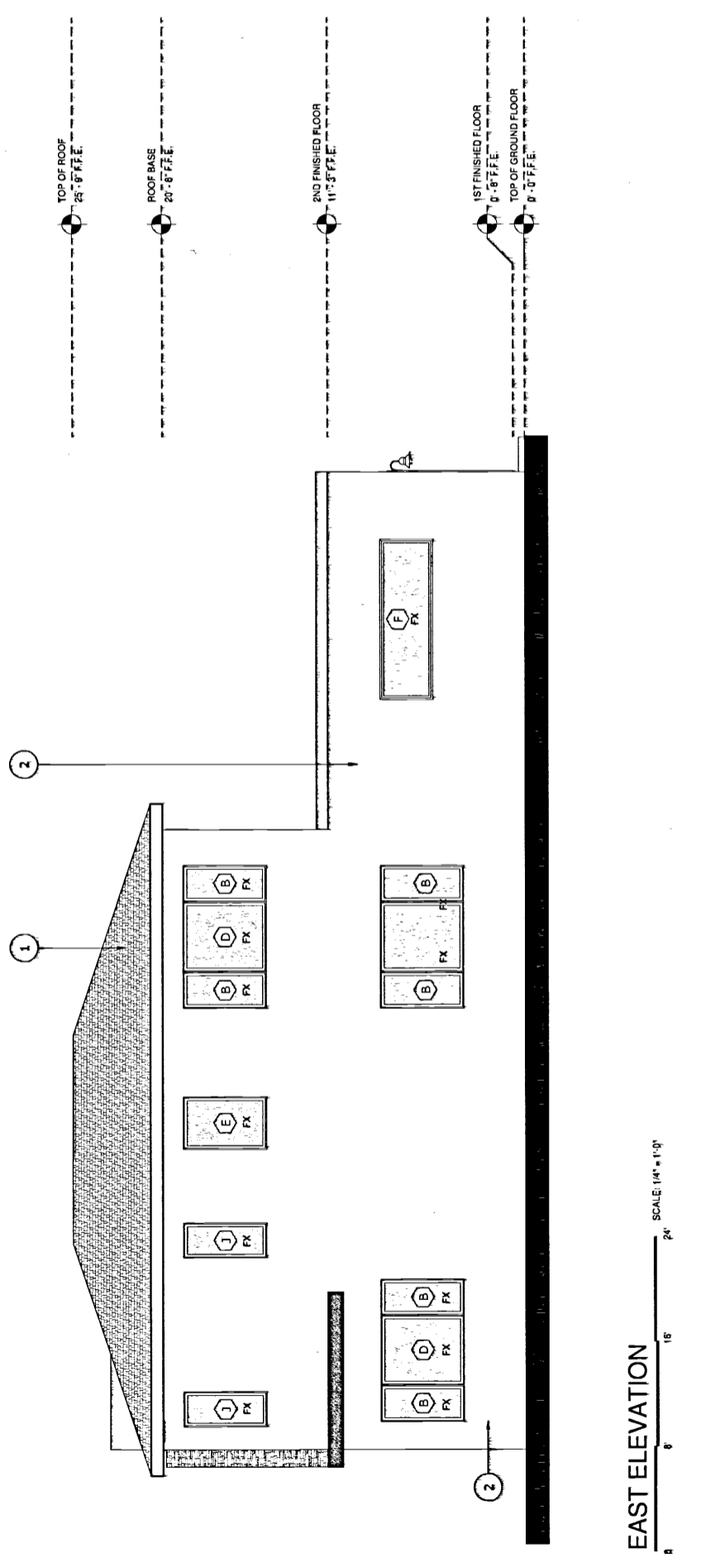
GENERAL NOTES	
1. THIS STRUCTURE SHALL HAVE ALL EXTERIOR GLAZED IMPACT RESISTANT.	
2. REFER TO SHEET A501 FOR WINDOW AND DOOR SCHEDULE.	
3. REFER TO FLOOR PLAN SHEET A100	
4. REFER TO ROOF PLAN SHEET A101	

WINDOWS AND DOOR NOTE	
1. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND MASONRY OPENINGS PRIOR TO INSTALLATION	
2. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECTS FOR REVIEW PRIOR TO MANUFACTURING OR PURCHASING	
3. WINDOW MANUFACTURE TO COORDINATE WITH NAME MANUFACTURE FOR FINAL DIMENSIONS	
4. WINDOW TO BE MIAMI DOZE CANTY PRODUCT CONTROL APPROVED	
5. EGRESS WINDOW SHALL BE NO MORE THAN 41" ABOVE FINISH FLOOR	



**NORTH ELEVATION**  
 0 8 16' SCALE: 1/4" = 1'-0"

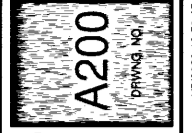


**EAST ELEVATION**  
 0 8 16' SCALE: 1/4" = 1'-0"

Owner  
**THE STARS GROUP - NEW JERSEY OFFICE**

**NORTH & WEST ELEVATION**

Project Number	19117.01
Date	
Drawn By	
Checked By	
Scale	As indicated



1/5/2020 12:50:45

ELEVATION KEYED NOTES	
DESCRIPTION	
① GALVANIZED STANDING SCREEN ROOF	
② SMOOTH STUCCO FINISH	
③ 42" HIGH ALUMINUM GUARD RAIL W/36" HIGH TEMPERGLASS HANDRAIL	
④ STUCCO WITH STONE FINISH	

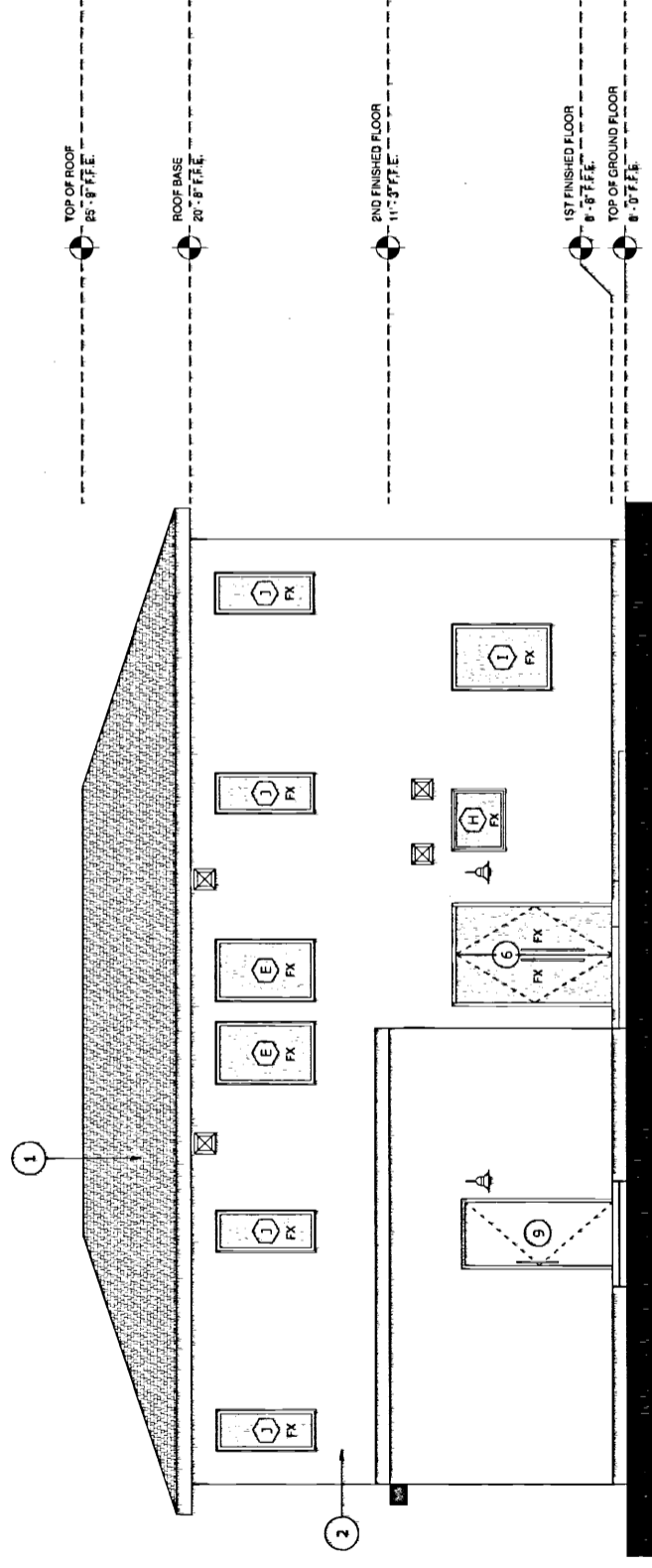
SYMBOLS	
①	DOOR NO.
⊕	WINDOW TYPE
◇	KEY NOTE

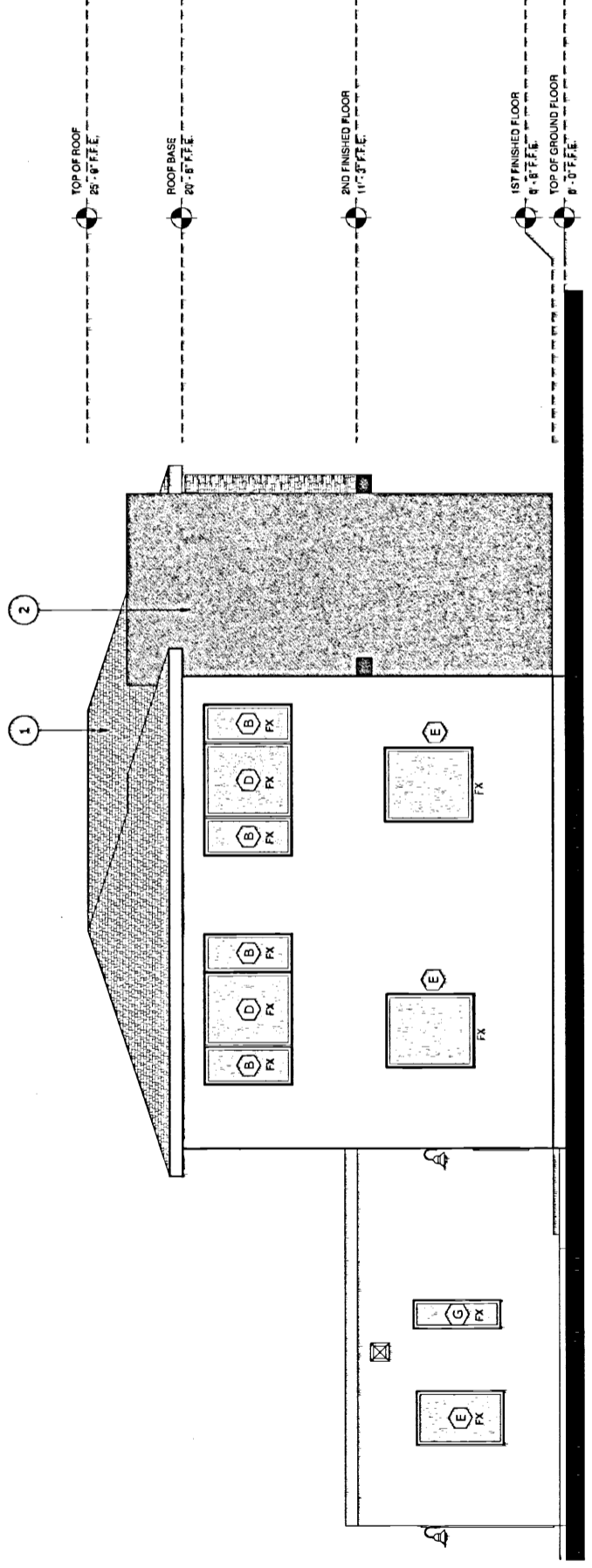
GENERAL NOTES	
1.	THIS STRUCTURE SHALL HAVE ALL EXTERIOR GLAZED IMPACT RESISTANT.
2.	REFER TO SHEET A501 FOR WINDOW AND DOOR SCHEDULE.
3.	REFER TO ROOF PLAN SHEET A101.

WINDOWS AND DOOR NOTE	
1.	GENERAL CONTRACTOR TO VERIFY AND COORDINATE ACTUAL WINDOW DIMENSIONS AND MANSOURY OPENINGS PRIOR TO INSTALLATION.
2.	GENERAL CONTRACTOR TO SUBMIT SHOP DRAWING TO ARCHITECTS FOR REVIEW PRIOR TO MANUFACTURING OR PURCHASING.
3.	WINDOW TO BE MIAMI DODE CANTY PRODUCT CONTROL APPROVED.
4.	EGRESS WINDOW SHALL BE NO MORE THAN 44" ABOVE FINISH FLOOR.



**SOUTH ELEVATION**  
 0 6 12 24 SCALE 1/4" = 1'-0"



**WEST ELEVATION**  
 0 6 12 24 SCALE 1/4" = 1'-0"

**SOUTH & EAST ELEVATION**

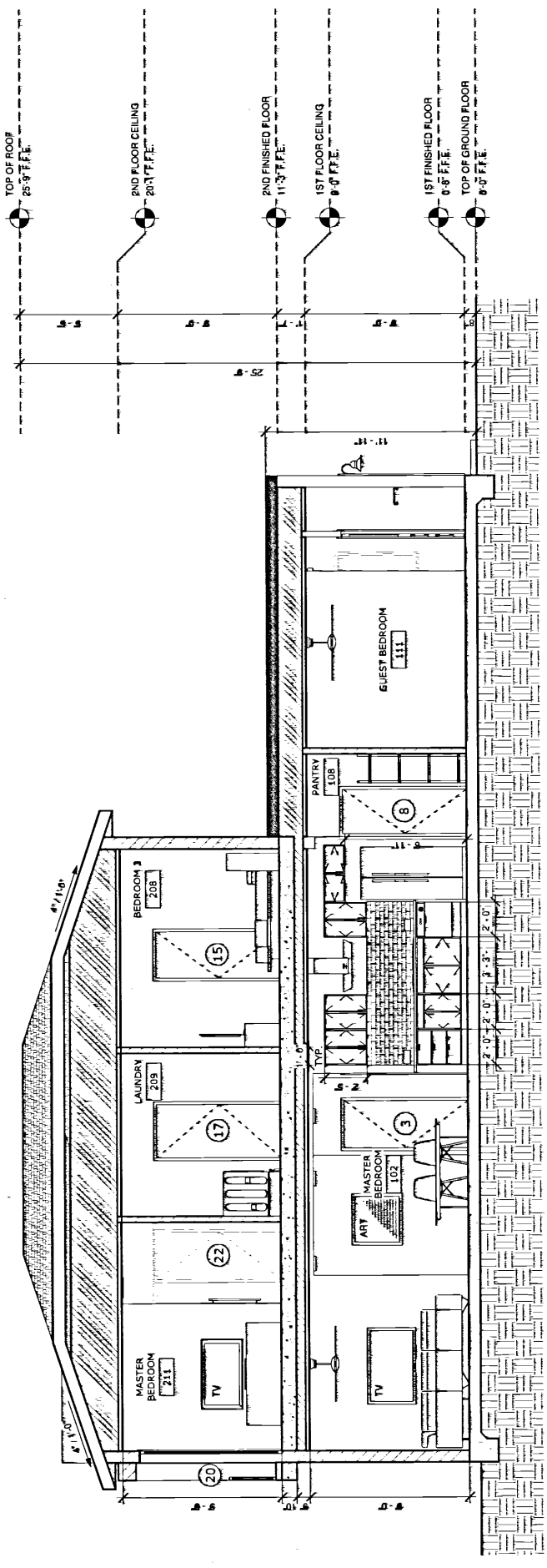
Project Number	191701
Date	
Issue Date	
Drawn By	
Checked By	
Scale	As indicated

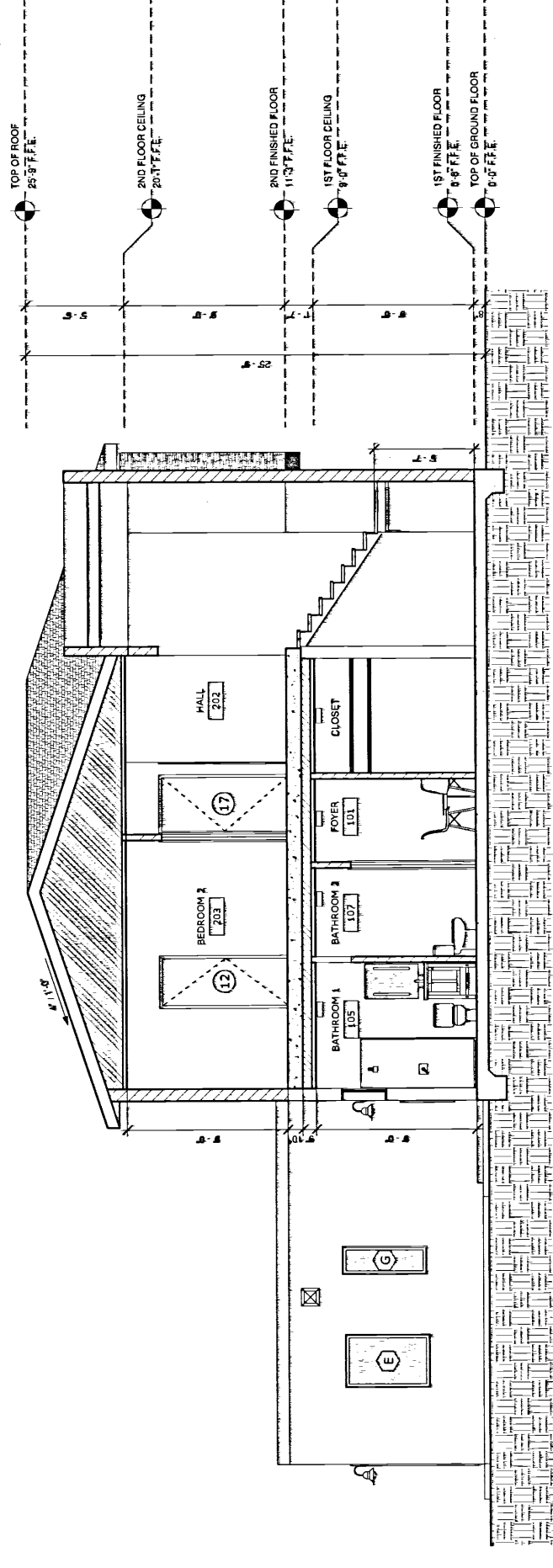
<b>A201</b>	
Author	DRWG. NO.
Checker	

1/5/2020 12:50:46

SECTIONAL KEYED NOTES	
SYMBOL	DESCRIPTION
①	DOOR NO.
②	WINDOW TYPE
③	KEY NOTE
GENERAL NOTES	
WINDOWS AND DOOR NOTE	



SECTION A-A  
SCALE: 1/4" = 1'-0"



SECTION B-B  
SCALE: 1/4" = 1'-0"

Owner  
**THE STARS GROUP - NEW JERSEY OFFICE**

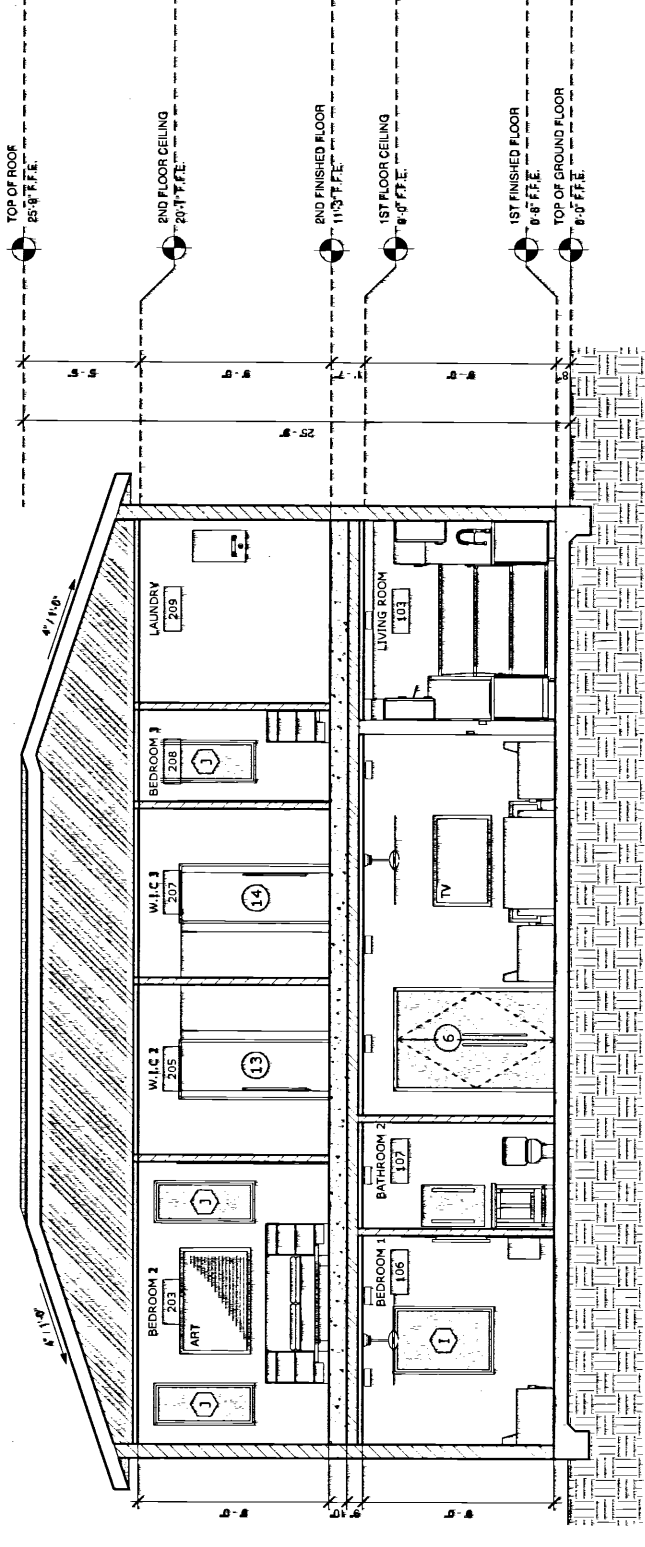
SECTION A-A & B-B

Project Number	19117.01
Date	
Drawn By	
Checked By	
Scale	As indicated

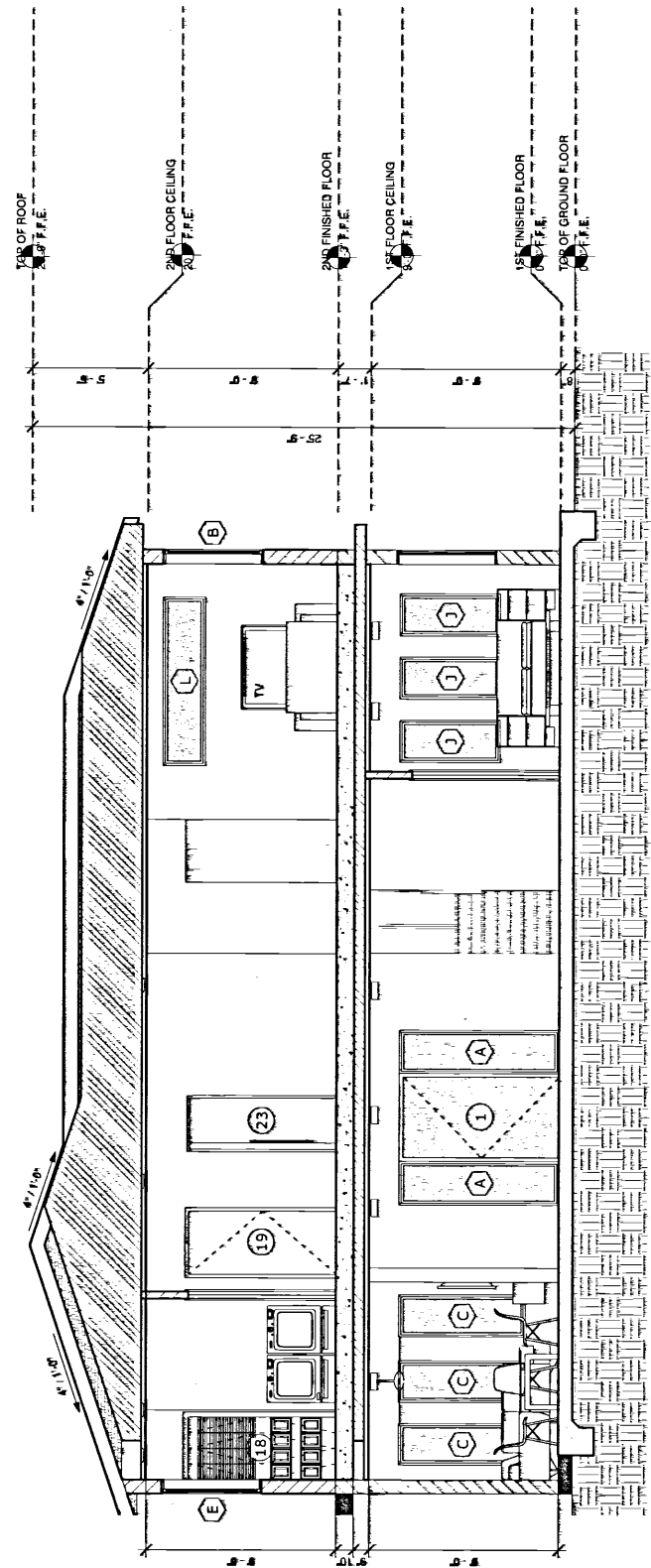
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Author: [blank] Checker: [blank] DWG NO: [blank]

1/5/2020 12:50:48

SECTIONAL KEYED NOTES	
DESCRIPTION	
①	DOOR NO.
②	WINDOW TYPE
③	KEY NOTE
SYMBOLS	
④	GENERAL NOTES
WINDOWS AND DOOR NOTE	



**SECTION C-C**  
SCALE: 1/4" = 1'-0"



**SECTION D-D**  
SCALE: 1/4" = 1'-0"

**SECTION C-C & D-D**

<b>A301</b>		1/5/2020 12:50:50	
		Author	Checker
Project Number	19117.01	Date	1/5/2020
Drawn By		Checked By	
Scale		As indicated	